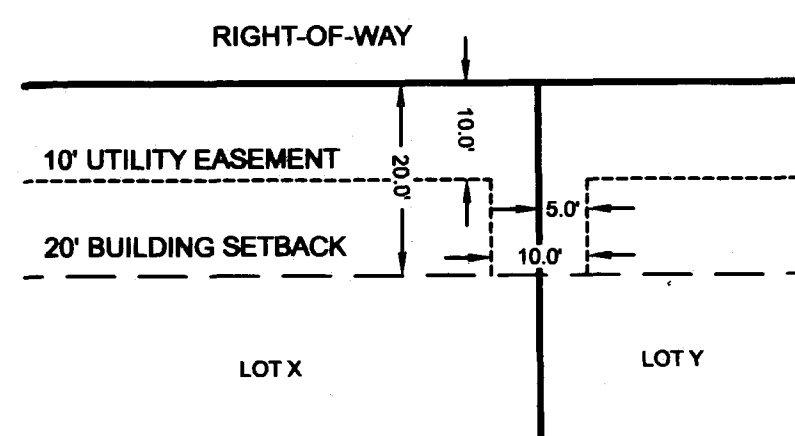


LEGEND

- FOUND BRASS CAP MONUMENT
FOUND 5/8" REBAR
FOUND 2.5" ALUMINUM MONUMENT
SET 2.5" ALUMINUM CAP MONUMENT
SET 5/8" x 30" REBAR (SEE NOTE 1)
(R1) RECORD MEASUREMENT - BLM
(R2) RECORD MEASUREMENT - PLAT No. 2024-04
(R3) RECORD MEASUREMENT - PLAT No. 96-5
(R4) RECORD MEASUREMENT - PLAT No. 2025-83
(DTP) DEDICATED BY THIS PLAT
SUBDIVISION BOUNDARY
PROPERTY LINE CREATED BY THIS PLAT
20' BUILDING SETBACK (SEE NOTE 3)
UTILITY EASEMENT (SEE NOTE 4)
33' SECTION LINE EASEMENT
ALIQUOT PART
EDGE OF WATER
SLOPES EXCEEDING 20% GRADE (FROM KENAI PENINSULA BOROUGH TERRAIN VIEWER 4' CONTOUR DATA)
WETLAND - TYPE "DEPRESSION" (FROM KENAI PENINSULA BOROUGH GIS DATASET "KWF WETLANDS ASSESSMENT")

EASEMENT DETAIL TYPICAL (SEE NOTES 3 AND 4)



LINE	BEARING	DISTANCE
L1	N 89°58'23" W	96.98'
L2	S 00°03'51" E	113.72'
L3	N 89°58'23" W	103.13'
L4	S 00°03'51" E	86.35'
L5	N 89°58'32" W	123.00'

CERTIFICATE OF OWNERSHIP AND DEDICATION

I, JUSDI WARNER, THE UNDERSIGNED, DO HEREBY CERTIFY THAT I AM THE EXECUTIVE DIRECTOR OF THE ALASKA MENTAL HEALTH TRUST LAND OFFICE, AND ACTING BY AND THROUGH THE STATE OF ALASKA, DEPARTMENT OF NATURAL RESOURCES, ALASKA MENTAL HEALTH TRUST LAND OFFICE, PURSUANT TO AS 37.14.009, AS 38.05.801, AND 11 AAC 99, AS AGENT TO THE OWNER, THE ALASKA MENTAL HEALTH TRUST AUTHORITY, A PUBLIC CORPORATION WITHIN THE ALASKA DEPARTMENT OF REVENUE (AS 47.30.011 ET SEQ.), I HEREBY APPROVE SAPPHIRE SUBDIVISION TRUST LAND SURVEY 2025-03 FOR THE ALASKA MENTAL HEALTH TRUST AUTHORITY, AND DEDICATE FOR PUBLIC OR PRIVATE USE AS NOTED, ALL EASEMENTS, PUBLIC UTILITY AREAS, AND RIGHTS-OF-WAY AS SHOWN AND DESCRIBED HEREON.

ALASKA MENTAL HEALTH TRUST LAND OFFICE

JUSDI WARNER
AGENT TO THE OWNER
ALASKA MENTAL HEALTH TRUST AUTHORITY
3745 COMMUNITY PARK LOOP, SUITE 200
ANCHORAGE, AK 99508

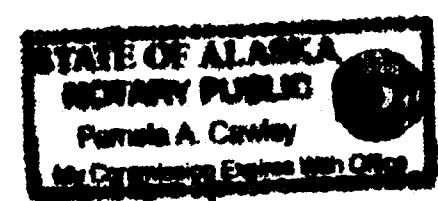
5/12/26
DATE

NOTARY'S ACKNOWLEDGMENT

STATE OF ALASKA }
THIRD JUDICIAL DISTRICT }

THIS IS TO CERTIFY ON THIS 12th DAY OF May, 2026, BEFORE ME APPEARED JUSDI WARNER, KNOWN TO ME TO BE THE PERSON NAMED WHO EXECUTED THIS FORGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN STATED.

NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES



CERTIFICATE OF ACCEPTANCE

THE UNDERSIGNED OFFICIAL IDENTIFIED BY NAME AND TITLE IS AUTHORIZED TO ACCEPT AND HEREBY ACCEPTS ON BEHALF OF THE KENAI PENINSULA BOROUGH FOR PUBLIC USES AND FOR PUBLIC PURPOSES THE REAL PROPERTY TO BE DEDICATED BY THIS PLAT INCLUDING EASEMENTS, RIGHTS-OF-WAY, ALLEYS, AND OTHER PUBLIC AREAS SHOWN ON THE PLAT IDENTIFIED AS FOLLOWS:

CITRINE STREET
EMERALD STREET
FERN STREET
FLUORITE AVENUE
OBSIDIAN AVENUE
PERIDOT AVENUE
SMOKY QUARTZ AVENUE

THE ACCEPTANCE OF LANDS FOR PUBLIC PURPOSES DOES NOT OBLIGATE THE PUBLIC OR ANY GOVERNING BODY TO CONSTRUCT, OPERATE, OR MAINTAIN IMPROVEMENTS.

AUTHORIZED OFFICIAL
KENAI PENINSULA BOROUGH
144 NORTH BINKLEY STREET
SOLDOTNA, ALASKA 99669

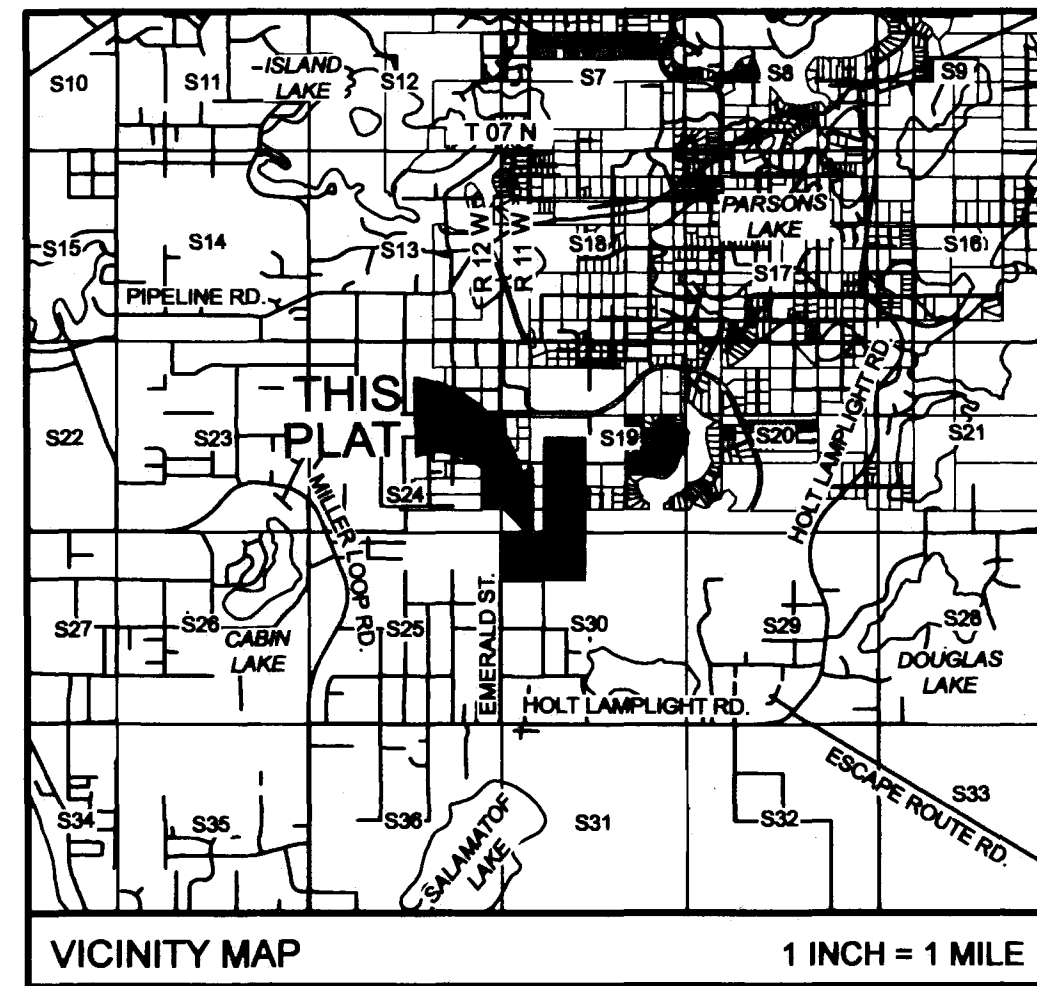
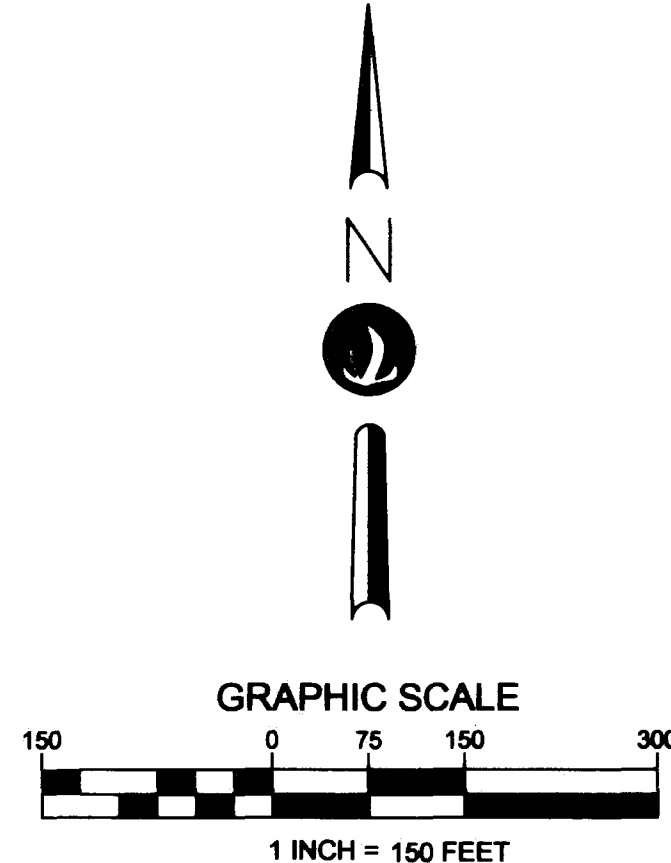
8/5/2026
DATE

PLAT APPROVAL

THIS PLAT WAS APPROVED BY THE KENAI PENINSULA BOROUGH PLANNING COMMISSION AT THE MEETING OF JANUARY 5, 2026.

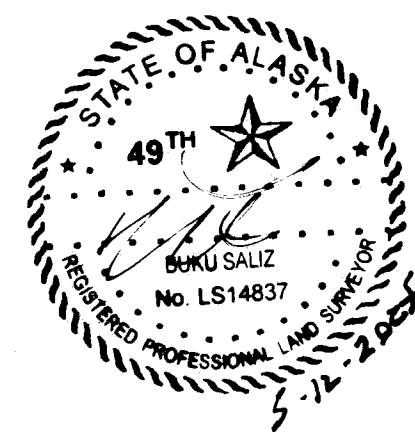
AUTHORIZED OFFICIAL

8/5/2026
DATE



NOTES

- SET 5/8" X 30" REBAR WITH 1.25" DIAMETER ORANGE PLASTIC CAP AT ALL LOT CORNERS AND 30' UPLAND ON PROPERTY LINES THAT TERMINATE IN WATER.
- THE VICINITY MAP WAS CREATED USING PUBLICLY AVAILABLE GIS DATA. THIS DATA IS MAINTAINED BY LOCAL, STATE, AND FEDERAL ENTITIES.
- A BUILDING SETBACK OF 20 FEET IS REQUIRED FROM ALL STREET RIGHTS-OF-WAY UNLESS A LESSER STANDARD IS APPROVED BY RESOLUTION OF THE APPROPRIATE PLANNING COMMISSION.
- THE FRONT 10 FEET ADJOINING ALL RIGHTS-OF-WAY AND INCREASING TO 20 FEET WITHIN 5 FEET OF SIDE LOT LINES IS GRANTED AS A UTILITY EASEMENT PER THIS PLAT.
- ANY PERSON DEVELOPING THE PROPERTY IS RESPONSIBLE FOR OBTAINING ALL LOCAL, STATE, AND FEDERAL PERMITS, INCLUDING A U.S. ARMY CORPS OF ENGINEERS WETLAND DETERMINATION, IF APPLICABLE.
- THE BOROUGH WILL NOT ENFORCE PRIVATE COVENANTS, EASEMENTS, OR DEED RESTRICTIONS PER KPB 20.80.170 (B).
- NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED OR PLACED WITHIN A UTILITY EASEMENT WHICH WOULD INTERFERE WITH THE ABILITY OF A UTILITY TO USE THE EASEMENT.
- ROADS MUST MEET THE DESIGN AND CONSTRUCTION STANDARDS ESTABLISHED BY THE BOROUGH IN ORDER TO BE CONSIDERED FOR CERTIFICATION AND INCLUSION IN THE ROAD MAINTENANCE PROGRAM (KPB 14.06).
- THESE PROPERTIES ARE SUBJECT TO A RESERVATION OF EASEMENT FOR UTILITY PURPOSES, AS DISCLOSED BY DOCUMENT 2021-011615-0 RECORDED ON OCTOBER 19, 2021 AND DOCUMENT 2021-011618-0 RECORDED ON OCTOBER 19, 2021 AT THE KENAI RECORDING DISTRICT.
- WITHIN THE 100 FOOT WIDE TRANSMISSION LINE EASEMENT (SEE NOTE 9), CONSTRUCTION OF ALL PUBLIC ROADS SHALL BE RESTRICTED TO THE OUTER 20 FEET OF ONE SIDE OR THE OTHER, BUT NOT BOTH SIDES OF THE EASEMENT. PUBLIC ROADS OR DRIVEWAYS CROSSING THE EASEMENT SHALL BE LOCATED AS PERPENDICULAR TO THE TRANSMISSION LINE AS IS REASONABLY POSSIBLE. NO PORTION OF A ROAD OR DRIVEWAY SHALL BE CLOSER THAN 25 FEET TO A TRANSMISSION LINE POLE/STRUCTURE. NO EXCAVATION OR FILL WITHIN THE EASEMENT IS ALLOWED WITHOUT THE EXPRESS WRITTEN PERMISSION OF HOMER ELECTRIC ASSOCIATION.
- THESE PROPERTIES ARE SUBJECT TO A MEMORANDUM OF AN OIL AND GAS LEASE, AS DISCLOSED BY THE DOCUMENT 2005-000727-0, DATED DECEMBER 30, 2004 AND RECORDED JANUARY 28, 2005 AT THE KENAI RECORDING DISTRICT.
- THESE PROPERTIES ARE SUBJECT TO ASSIGNMENTS OF LESSEE'S INTERESTS SUBSEQUENT TO ABOVE NOTED OIL AND GAS LEASE, AS DISCLOSED BY DOCUMENTS 2008-001471-0, 2008-001472-0, 2008-001473-0, 2008-001474-0, AND 2008-001475-0.
- NO ACCESS TO STATE MAINTAINED RIGHTS-OF-WAYS PERMITTED UNLESS APPROVED BY THE STATE OF ALASKA DEPARTMENT OF TRANSPORTATION.
- WASTEWATER DISPOSAL: LOTS ARE AT LEAST 200,000 SQUARE FEET IN SIZE AND CONDITIONS MAY NOT BE SUITABLE FOR ON-SITE WASTEWATER TREATMENT AND DISPOSAL. ANY WASTEWATER TREATMENT OR DISPOSAL SYSTEM MUST MEET THE REGULATORY REQUIREMENTS OF THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- EVALUATION OF THE EXISTENCE OF SECTION LINE EASEMENTS AFFECTING THIS SUBDIVISION FOLLOWS THE CONCURRENCE ON APPLICABILITY OF SECTION LINE EASEMENTS ON ALASKA MENTAL HEALTH TRUST LAND SIGNED BY JUSDI WARNER, TLO EXECUTIVE DIRECTOR, RYAN ANDERSON, P.E., DOT&PF COMMISSIONER, AND BRENT GOODRUM, DNR DEP. COMMISSIONER ON DECEMBER 30th, 2020 AND UPDATED SEPTEMBER 2022. THE BUREAU OF LAND MANAGEMENT SURVEY THAT INCLUDES SECTION 19 AND SECTION 30, TOWNSHIP 7 NORTH, RANGE 11 WEST SEWARD MERIDIAN WAS ACCEPTED SEPTEMBER 30, 1958, AFTER THE ALASKA MENTAL HEALTH ENABLING ACT WAS ENACTED JULY 28, 1958; THEREFORE, IN ACCORDANCE WITH THE CONCURRENCE DOCUMENT, THE STATE IS NOT ASSERTING A SECTION LINE EASEMENT ON THIS SUBDIVISION WHICH IS ORIGINAL MENTAL HEALTH TRUST LANDS SELECTED BY THE STATE UNDER CASE MH25.
- ACCEPTANCE OF THIS PLAT BY THE BOROUGH DOES NOT INDICATE THE ACCEPTANCE OF ANY ENCROACHMENTS.
- FUTURE SUBDIVISION OF THE REMAINING LOTS MUST SHOW INTERNAL CIRCULATION, AND WORK WITH DOT&PF STAFF TO DETERMINE APPROPRIATE ACCESS LOCATIONS TO HOLT LAMPLIGHT ROAD, WITH ANTICIPATED COINCIDING DEVELOPMENT OF INTERNAL CIRCULATION.



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME AND THAT THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE TRUE AND CORRECT.

BUKU SALIZ
REGISTERED LAND SURVEYOR

LS-14837

Kenai Recording District PL2026-04

PLAT OF

SAPPHIRE SUBDIVISION
TRUST LAND SURVEY 2025-03

A SUBDIVISION OF

GOVERNMENT LOT 1, SECTION 30, T 7 N, R 11 W, SEWARD MERIDIAN
NE 1/4 NW 1/4, SECTION 30, T 7 N, R 11 W, SEWARD MERIDIAN
E 1/2 SW 1/4 SECTION 19, T 7 N, R 11 W, SEWARD MERIDIAN
KENAI RECORDING DISTRICT, KENAI PENINSULA BOROUGH, ALASKA
CONTAINING 154.350 ACRES

FIXED HEIGHT, LLC

907.290.8949
WWW.FIXEDHEIGHT.COM

600 W 41st AVE, STE C
ANCHORAGE, AK 99503
C.O.A. 122544

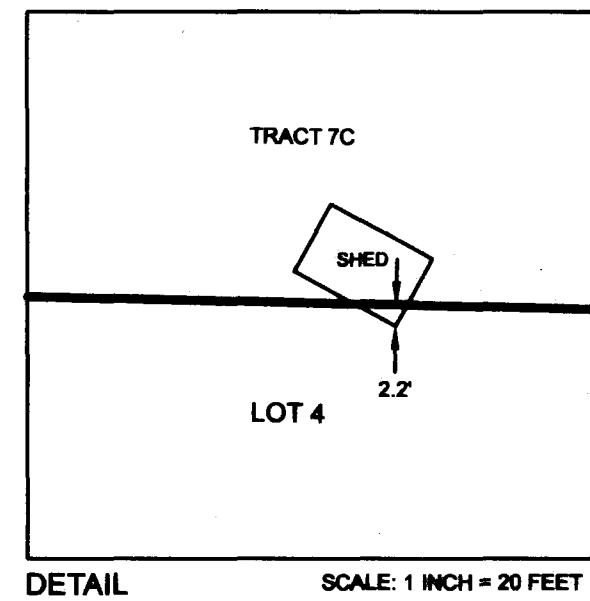
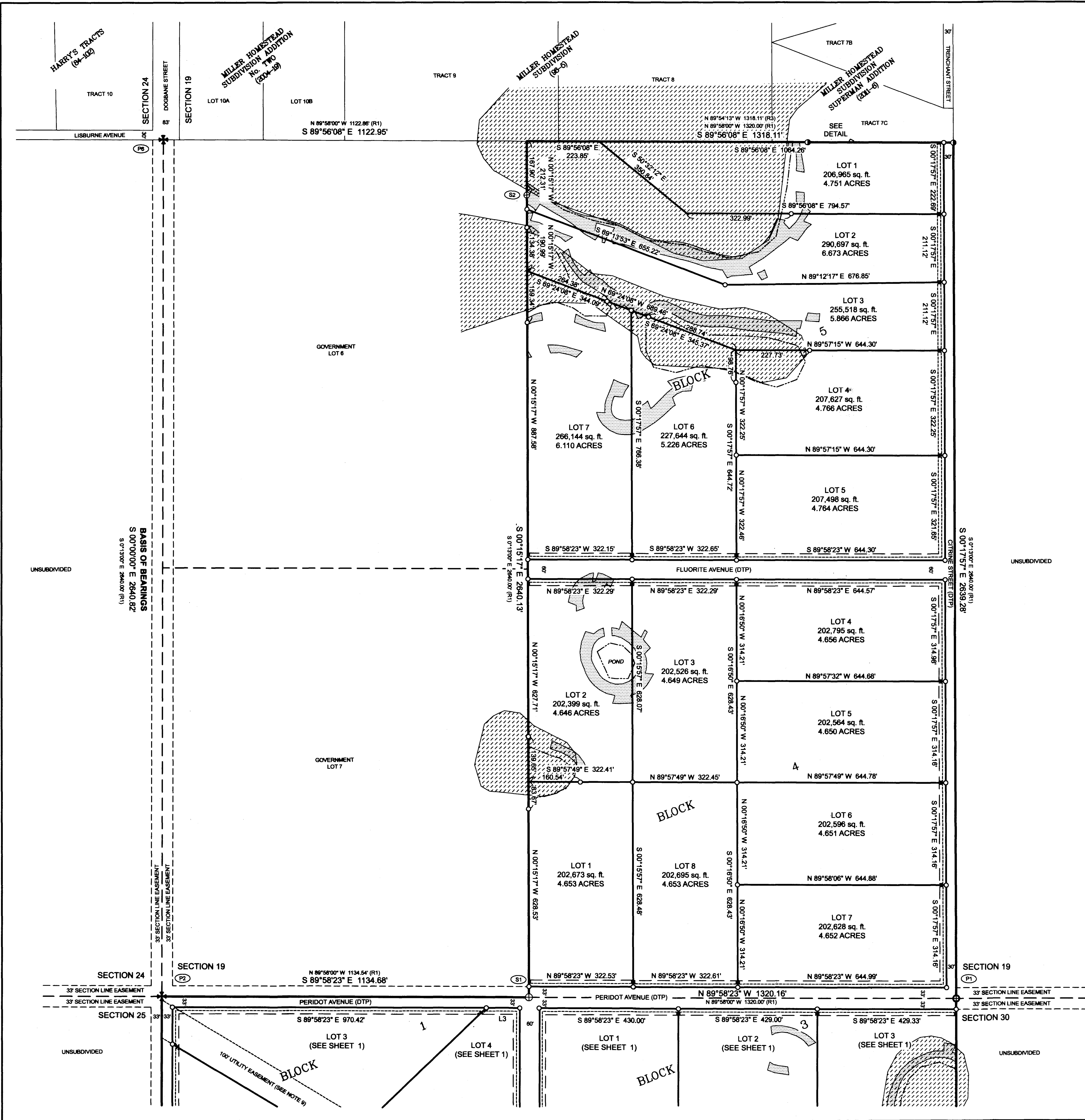
OWNER: ALASKA MENTAL HEALTH TRUST AUTHORITY
3745 COMMUNITY PARK LOOP, SUITE 200, ANCHORAGE, AK 99508

KPB FILE No.: 2025-179 DRAWN BY: XK

PROJECT No.: 25107 CHECKED BY: BS

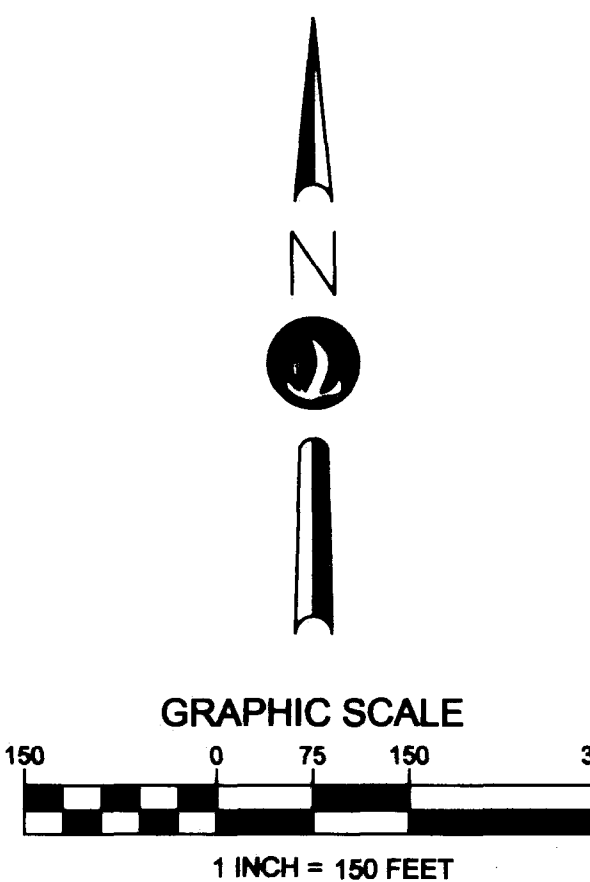
SURVEY DATE: JULY, 2025 SCALE: 1" = 150'

TLO FILE No.: TLS 2025-03 SHEET: 1 OF 2



- LEGEND**
- FOUND BRASS CAP MONUMENT
 - FOUND 5/8" REBAR
 - FOUND 2.5" ALUMINUM MONUMENT
 - SET 2.5" ALUMINUM CAP MONUMENT
 - SET 5/8" x 30" REBAR (SEE NOTE 1)
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 - (R2) RECORD MEASUREMENT - PLAT No. 2024-04
 - (R3) RECORD MEASUREMENT - PLAT No. 99-5
 - (R4) RECORD MEASUREMENT - PLAT No. 2025-03
 - (DTP) DEDICATED BY THIS PLAT
 - SUBDIVISION BOUNDARY
 - PROPERTY LINE CREATED BY THIS PLAT
 - 20' BUILDING SETBACK (SEE NOTE 3)
 - UTILITY EASEMENT (SEE NOTE 4)
 - 33' SECTION LINE EASEMENT
 - ALIQUOT PART
 - EDGE OF WATER
 - SLOPES EXCEEDING 20% GRADE (FROM KENAI PENINSULA BOROUGH TERRAIN VIEWER 4' CONTOUR DATA)
 - WETLAND - TYPE "DEPRESSION" (FROM KENAI PENINSULA BOROUGH GIS DATASET "KWF WETLANDS ASSESSMENT")

- MONUMENT DETAILS**
- | P1 | P2 | P3 |
|---|---|--|
| FOUND 2.5" ALUMINUM CAP, 0.3' BELOW GRADE, PLUMB | FOUND 2.5" BRASS CAP, 0.3' ABOVE GRADE, PLUMB | FOUND 2.5" ALUMINUM CAP, 0.1' ABOVE GRADE, PLUMB |
| P4 | P5 | P6 |
| FOUND 2.5" ALUMINUM CAP, 0.3' ABOVE GRADE, PLUMB | FOUND 2.5" ALUMINUM CAP, 0.1' ABOVE GRADE, PLUMB | FOUND 3.25" BRASS CAP, AT GRADE, PLUMB |
| S1 | S2 | |
| SET 2.5" ALUMINUM CAP ON ALUMINUM PIPE, 0.2' ABOVE GRADE, PLUMB | SET 2.5" ALUMINUM CAP ON ALUMINUM PIPE, 0.2' ABOVE GRADE, PLUMB | |



PLAT OF

SAPPHIRE SUBDIVISION

TRUST LAND SURVEY 2025-03

A SUBDIVISION OF

GOVERNMENT LOT 1, SECTION 30 T 7 N, R 11 W, SEWARD MERIDIAN
NE 1/4 NW 1/4, SECTION 30, T 7 N, R 11 W, SEWARD MERIDIAN
E 1/2 SW 1/4 SECTION 19, T 7 N, R 11 W, SEWARD MERIDIAN
KENAI RECORDING DISTRICT, KENAI PENINSULA BOROUGH, ALASKA
CONTAINING 154.350 ACRES

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OWNER: ALASKA MENTAL HEALTH TRUST AUTHORITY
3745 COMMUNITY PARK LOOP, SUITE 200, ANCHORAGE, AK 99508

KPB FILE No.: 2025-179
PROJECT No.: 25107
SURVEY DATE: JULY, 2025
TLO FILE No.: TLS 2025-03

DRAWN BY: XK
CHECKED BY: BS
SCALE: 1" = 150'
SHEET: 2 OF 2

2026-44
Plat #
Kenai
Rec Dist
8/7/2025
Time 8:55 AM



**KENAI PENINSULA
Borough**

Finance Department

144 North Binkley Street, Soldotna, AK 99669 | (P) 907-714-2170 | www.kpb.us

CERTIFICATE OF TAX DEPARTMENT

I, Nolan Scarlett, Property Tax and Collections Manager for the Kenai Peninsula Borough, do hereby certify that, as of the date of this certificate, all real property taxes and special assessments levied by the Kenai Peninsula Borough have been paid for the area(s) described as:

Subdivision: Sapphire Subdivision Trust Land Survey 2025 10

Parcel # 01310018

T 7N R 11W SEC 19 & SEC 20 Seward Meridian KN GL 1 & SE1/4 & S1/2 NE1/4 & E1/2 SW1/4 IN SEC 19; GL 1 THRU 5 & SE1/4 NE1/4 & S1/2 NW1/4 & SE1/4 SW1/4 & NE1/4 SE1/4 & E1/2 NW1/4 SE1/4 & S1/2 SE1/4 IN SEC 20

Parcel # 01312093

T 7N R 11W SEC 30 Seward Meridian KN 0952867 - PW N1/2 NE1/4 & NE1/4 NW1/4

Parcel # 01359035

T 7N R 11W SEC 30 Seward Meridian KN GOVT LOT 1

The following taxes and special assessments (except assessments for the cities of Homer, Kenai, Seward, Seldovia, and Soldotna) levied against this property are outstanding: \$0.00.

Witness my hand and seal this 24th day of July, 2026.

Nolan Scarlett

Nolan Scarlett

Property Tax and Collections Manager